

# Jensen Lakes

Shoreline Collection Stage 7 - Estate Homes  
Architectural & Landscape Guidelines  
November 2018

**MELCOR**



# Shoreline Collection Stage 7

Estate Homes



Architectural & Landscape Guidelines Stage 7 November 2018



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# Architectural and Landscape Guidelines

## Phase 7

### *Shoreline Collection*

#### Estate Homes

## The Community

Meticulously planned, Jensen Lakes is master planned with everything you can dream of for your new home. Sand beaches, a stunning beach club, urban landscaping, exquisite homes, recreational parks and ponds, open spaces, shops and services and an extensive master planned pathway system.

Jensen Lakes Phase 7 introduces the first collection of lake front and lake access homes in the Jensen Lakes community.

## Objective

The general objective of these guidelines is to express lifestyle through design, creating interesting and cohesive streetscapes of varied architectural styles, that are distinctive and uniquely unified.

## Architectural Theme

The extraordinary setting of this lake community with its lifestyle amenities, will create the casual sophisticated 'lakestyle living'.

## Streetscapes

Streetscapes will be comprised of six distinctive styles. Encouraging originality and individual expression, style preferences will be selected from Prairie, French Country, Coastal Farmhouse, Modern Beach, Coast Nouveau and Craftsman. Each building in the streetscape will contribute to the visual identity of the neighborhood. Scale and massing will reflect architectural intent with relaxed and airy features. With an emphasis on relationship, the integration of design styles will be compelling.



## General

The developer's architectural consultant will review all homes in the community to ensure compliance with all aspects of the architectural guidelines before being permitted to proceed for permits and construction. All construction must comply with all local building codes and ordinances.



## Setbacks

General setbacks on all lots will be governed by the minimum setback requirements as per the City of St. Albert by-law requirements.

### *Front Setback*

The developer's architectural consultant will monitor front setbacks. To create more interesting streetscapes variety will be provided in the front setbacks along the street.

In areas where a more expansive street ambience is desired an increase in the minimum front setback will be utilized and variety between units will occur.

Homes with greater massing will require increased setbacks to reduce their dominance on the street.

## Conformance with Grading Plans

Lot grading must be in strict conformance with the approved grading plans. Variations should be absorbed within the building mass to minimize steep slopes and contrast between lots.

All plot plans and stakeouts must be done by the designated surveyor, to provide consistency in establishing building elevations throughout the neighborhood.

## Risers and Entry Steps

The 'Lakestyle' is low and grounded. Generally, three or less risers at the entry step, reinforces this style.

Front entry steps are restricted to a maximum of four risers per set. Where the grade or design call for more than four risers, the run must be split.

## Parging

Exposed concrete and parging will be restricted to a maximum of 24" at all elevations.

## Retaining Structures

Retaining structures are the responsibility of the property owner and must not compromise the grading design and lot drainage. Natural elements such as rock and wood are preferred for construction of retaining walls. Landscape block can also be utilized and concrete is acceptable if appropriately finished to view. Retaining structures over 1.2m

## Garage and Driveway

Front attached garages are required, located in accordance with the garage location plan and designed to integrate and minimize the garage appearance while emphasizing the architectural features and massing of the house.

### *Front Drive Configuration*

Driveway is not to exceed the width of the garage, to the garage front, where the width may then flare to include a walkway to the front and/or rear yard.

### *Side Drive Configuration*

Driveway will be no wider than 22' at the street or boulevard, flaring out in an undulating configuration to the garage entrance.

The driveway cannot be extended in front of the garage.

Side drive will require a 1.5m integrating strip of landscaping between the driveway and the property line.

The Builder/Purchaser is responsible to ensure there are no obstructions or hindrances to the side driveway and minimum clearance is maintained to the satisfaction of local approving authorities. The Builder/Purchaser shall also be responsible for the relocation and hardiness of any boulevard tree(s) that conflict with the driveway configuration.

Side driveways will not be permitted on corner lots.

### *Driveway Material*

Driveway, entry, and walkway will be constructed of an upgraded surface, such as Exposed Aggregate.

## Design Requirements

### Style Profiles

Streetscapes will be comprised of five distinctive styles. Encouraging originality and individual expression, style preferences will be selected from Modern Beach, Prairie, Craftsman, French Country, Coast Nouveau and Coastal Farmhouse. Each home will draw details and characteristics from only one architectural style. Acceptability of design style will rest solely with the Developer.

#### *Craftsman*



The Craftsman home is characterized by low slung roof lines and an articulated façade. Gabled or hip roofs with inset front facing gables, minimum 5/12 roof pitch and maximum 7/12 with 24" overhangs. All gables to include 6" shadow band and stepped shadow bands are recommended. Massing reflects an articulated façade with variations in plane and roof lines. Entry veranda or porch enclosed with a roof line at the first level. Columns/posts are minimum 10" panel clad with collar trims or a substantial upper post with oversized base, typically stone clad. Craftsman homes are finished in smooth stucco or Traditional profile composite lap siding. Simple raised trim details are composite board or metal clad on both siding and stucco cladding. Trims are minimum 5" and may include a sill detail. Additional finishes at visible elevations are layered horizontally and include flat panel with raised battens, shakes and Board & Batten vertical siding. Stone is applied in panel effect. Stone profiles suited are Mountain Ledge, Rustic Ledge, Cliffstone and Bluffstone. Windows are vertical in orientation and ample with minimum 5/8" grills in traditional pattern. Colors suited to the Craftsman style are medium earth tones or historical colors accented by light contrasting trims.

#### *French Country*



The French Country home is dominated by steep sloping hip roofs which may include prominent front facing cross gables. The massing is elegant and timeless. Roof slopes are minimum 8/12 front to back with 10/12 side slopes or minimum 9/12 overall with 12" to 18" overhangs. Narrow dormers are a common feature. Recessed portico entries are enclosed at the first level and may be framed by a roof above. Multi-paned windows are vertical in orientation and may be separated by a narrow space or ganged. Glazing is balanced and organized. Window grills may be full or upper sash with a grid pattern of 4 to 10 panes per sash. Windows may be arched in a soft curve at the top (elliptical). Bay, bow, and boxed out windows may be features, often with a curved shed roof line. Decorative moldings are typically installed at crown and sill of windows, often combined with panel shutters to match window shape. Cornice moldings are installed at eave lines in combination with stepped shadow bands at gables. Quoining may add definition at stucco or stone work. The home is clad in smooth stucco, stone, or brick. Siding is not permitted on the French Country style. Brick or stone is applied in panel effect and accented with heavy top trim. Stone profiles suited are Cobblestone, Cypress Ridge, Hillstone, Limestone, Field Ledge and Cliffstone. Colors suited to the French Country home are mid to light earth tones with a light, soft contrast at the fascia and accents. Trims may also be the same color as the wall cladding. Stone colors are tonal and complimentary.





### *Modern Beach*

Characterized by vertical emphasis, symmetry and simplicity. Massing is balanced and graceful. Roofs are gables or shed, front and side facing at minimum 8/12 pitch with 12" overhangs. Cottage roof lines are not suited. Entry depth is 5', with a roof cover at the first level. A flat roof cover of 4' is well suited. Roof is supported by 10" x 6" or 10" x 10" columns with narrow collar trim top and bottom. Windows have vertical orientation, are expansive, and may be single or ganged units with transoms. Window grills are not suited. Boxed out windows may be a feature, however bay or bow windows are not appropriate. Feature windows do not include octagonal, elliptical, round or rake. Slim trims are installed at the crown and sill only, extending no more than 1 1/2" past frame. Gables are finished in a combination of flat panel with raised battens and Board & Batten vertical siding. Shutters and louvers are not suited. The home is clad in siding or stucco with stone applied in panel effect only. Stone profiles suited are Stacked stone or Ledge stone in light, tonal colors. Colors suited are muted, beachy shades at the walls with tonal fascia and trims.



### *Prairie*

The Prairie home is characterized by gently sloping hip roofs and low proportions. Massing is understated with horizontal emphasis and simplified forms. Hipped roof lines with a minimum 5/12 and maximum 6/12 roof pitch and 24" or wider overhangs. Second floor development above the garage is required and will include a minimum two variations in wall plane and extend no more than 75% of the garage projection. Entry is recessed and covered at the first level and defined by large square columns. Windows are expansive, organized and consistent in shape with rectangular transoms or a single horizontal grill or mullion at the window. Boxed out windows may be a feature, while bay and bow windows are not suited. Trims and surrounds are 6" simple yet definite, emphasizing the horizontal. Large, heavy angular knee braces are a feature. Flat panel details or B & B profile siding are layered horizontally at visible elevations. The Prairie home is clad in smooth stucco or Traditional profile composite lap siding with stone applied in panel effect. Stone profiles suited are Stacked stone, Mountain Ledge, Cliffstone, and Brick. Colors suited to the Prairie style are warm earth tones with lighter, complimentary trims and tonal stone.



### *Coast Nouveau*

The Coast Nouveau is characterized by flat roofs in multiple levels, sleek lines and understated style. Massing is considerate and sophisticated with the creation of layers and stepped planes. Flat roof lines will include a 12" to 16" fascia with shallow ledge or coping and 24" overhangs. Second floor development above the garage is required and will project a minimum of 40 per cent of the garage projection and a maximum of 70 per cent. Entrances include cover within the height of the main floor, supported by slender aluminum clad or steel columns. Windows are expansive and vertical in orientation with 5/16" grills in a unique pattern. Small square feature windows may add interest. This style is linear as angles are not suited. Trims are applied irregularly at openings. A trim band may be installed under eaves. The home is clad in siding only, applied horizontally with ledge stone applied in panel effect. Straight edge shakes will enhance the presentation. Colors suited are muted shades at the walls with tonal fascia and trims. *Sloped roofs may be considered on an individual basis for the Coast Nouveau, with cohesive combinations of roof style with minimal slopes and multiple levels (roof styles cannot be combined).*



### *Coastal Farmhouse*

The Coastal Farmhouse style evolved from the massing and form of a traditional Craftsman style exaggerated with steep rooflines and clean, modern features. Massing is strong and expressive through the layering of multiple rooflines and types. Front facing steep gable rooflines of a 10/12 pitch or greater are a predominant feature softened by lower sloped shed roof accents or dormers. Smaller overhangs of a minimum of 12" are typical. Front entrances will include verandah spaces with simple 10"x10" columns and straight picket, glass or no railing. Windows are expansive with repetitive square or rectangular patterns. Modern window configurations are also suitable to the Coastal Farmhouse style. The home is clad in horizontal siding with large features enhanced with vertical board and batten siding or smooth, straight edged shingles. Battens and trims will have a simple straight profile. Masonry accents will be applied to provide overall grounding of the home. Exterior colors may include a wide variety of siding shades often with low contrast fascia and trims.

## House Size, Width, and Massing

Houses are to have a consistency of mass and volume within the streetscape. As such, house widths and sizes must relate proportionately to the lot width and neighboring houses.

- Massing, style, and setback may be adjusted on a lot to lot basis, to enhance the streetscape.
- Front entrances are to be covered at the first level.

### *Minimum House Width*

Minimum house width requirements are established so that all houses will fill the lot width available and provide as much frontage to the street or high profile areas as possible.

- The minimum house width on all lots is to be within 2' of the buildable lot width (building pocket).
- The minimum width is to be achieved at both the front and the rear of the home on all the HIGH visibility lots (Block 11 Lots 2 – 5).
- Homes incorporating an offset covered deck area will be reviewed on an individual basis for consideration in meeting the minimum width and massing requirements at the rear elevation, on high visibility lots.
- The minimum width is required at the front only on MODERATE visibility lots (Block 11 Lots 6 – 17, Block 4 Lots 44 – 52).
- The minimum width requirement is to be achieved on both the main and upper floors unless the overall style of the house permits otherwise.
- Pie shaped lots may incorporate a wider garage offset, with appropriate massing of the home.

### *Minimum Entry Width*

The minimum width for the front entry, measured on the exterior of all homes in Jensen Lakes Stage 7 Shoreline Collection will be 10'.

## Garages

Oversized (24'+) and triple garages must include articulation in the form of a minimum 12" jog, to break up the expanse of flat wall plane and roof line.

Oversized double garages must include a street facing window.

### *Garage Frontage Maximum*

The garage frontage on all homes is not to exceed 75% of the overall front width of the home.

### *Oversized Garages*

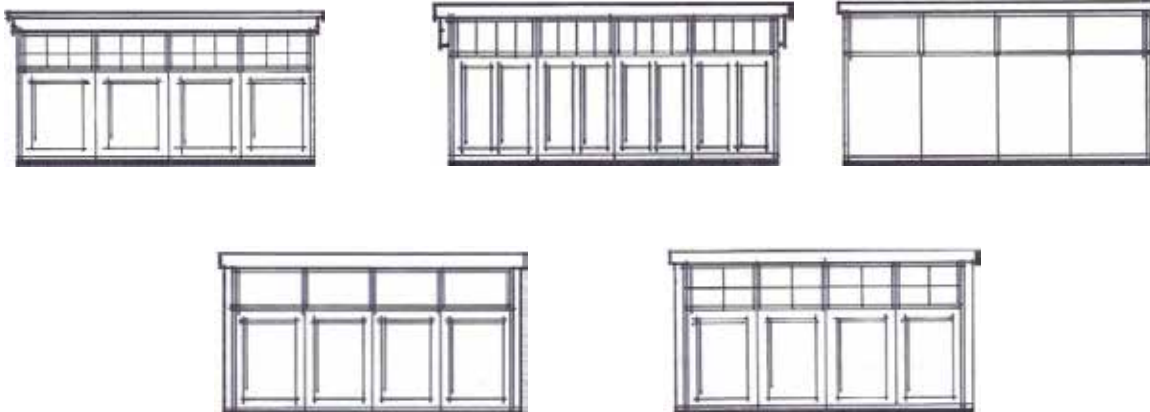
Oversized (24' +) and triple garages must include articulation in the form of a minimum 12" jog, to break up the expanse of flat wall plane and roof line. Oversized double garages will include a street facing window.

### *Overhead Doors*

Maximum overhead door permitted is height 8'. The height above overhead door should not exceed 18".

Overhead doors will be an upgraded product appropriate to style and painted to blend with the exterior.

Examples of acceptable door styles:



## Repetition

Similar or approximately identical elevations must not be repeated within three lots or directly across the Street.



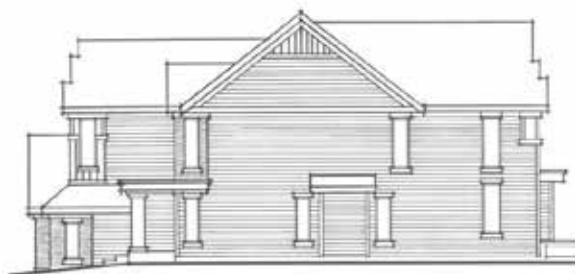
- Lots designated high or moderate visibility at the rear elevation, will address repetition at both the front and rear elevations.
- To ensure diverse and interesting streetscape, predominance of style will be no more than fifty per cent of the streetscape. Example: Twelve lot eyebrow or cul de sac = maximum six homes of a single design style.
- In no case should a style be repeated more than two lots in a row.



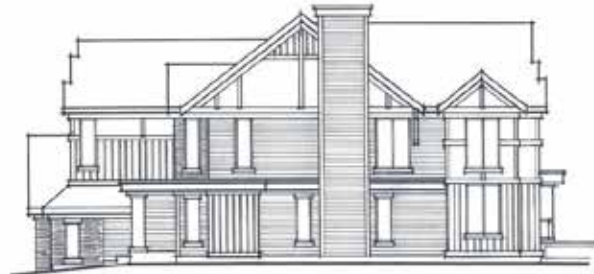
## Corner Lots

Special design consideration is required with a higher standard applied for lots on, or visible from collector roadways. Flanking side elevation on corner lots must have full front elevation treatment.

- Substantial roof line between 1<sup>st</sup> and 2<sup>nd</sup> floor. This roof line must be supported by projections and intersect with same in order to **appear intentional**
- Relief in wall plane is required (jogs/box outs)
- Appropriate roof overhangs
- Number of openings suited to wall area (**avoid blank wall space**)
- Detailing consistent with the front elevation, including grills and trims
- Window configuration and groupings consistent with front and styling
- Appropriate massing



Inappropriate Corner Treatment  
'Modern Beach'



Appropriate Corner Treatment  
'Modern Beach'

## Visibility Lots, Special Consideration

### *High Visibility Lots*

Block 11, Lots 2 - 5

Homes backing onto the lake amenity require special design consideration at the rear elevation. These elevations must reflect appropriate massing, window placement and stylistic distinction consistent with the front elevation. Variation in wall plane and substantial roof mass between floors is required. Minimum width requirements apply at the rear, for high visibility lots.



Inappropriate High Visibility Rear Treatment



Appropriate High Visibility Rear Treatment

### *Moderate Visibility Lots*

Block 11 Lots 6 – 17 and Block 4 Lots 44- 52

Homes backing onto the trail require special design consideration at the rear elevation. These elevations must reflect appropriate massing, window placement and stylistic distinction. Variation in wall plane and substantial roof mass between floors is required. Minimum width requirements DO NOT apply at the rear, for moderate visibility lots.



Inappropriate Moderate Visibility Rear Treatment



Appropriate Moderate Visibility Rear Treatment

### *Walk Out Lots*

The rear elevation of these homes must present an integrated building form. A combination of architectural measures will be required to address suitable proportions and to avoid a towering appearance. Graduated roof lines sloping to view, dormers, decks, detailing and articulated facades, will be some of these measures. The distance from grade to the first substantial roof line will not be more than 20'. Decks must be constructed concurrently.



Inappropriate Walkout



Appropriate Walkout



## Roof Massing

Roof shapes and slopes are a major component in the expression of architectural styles in Jensen Lakes.

### *Roof Shape, Slope and Overhangs*

The roof slope and overhang are to be specific to style profile.

- 8" fascia is the minimum requirement for the Modern Beach, French Country, Craftsman, Prairie and Coastal Farmhouse styles.
- The Coast Nouveau style requires 12" to 16" fascia.
- Cantilevers and box outs on visible elevations must include a separate roofline and minimum overhang.

### *Flues and Chimneys*

All flues and chimneys are to be fully finished in a manner that is suitable to the architectural style.

- Flues must be contained in a finished box-out or chase to match the exterior of the home.
- Corbelled chases are recommended in highly exposed locations.

## Front Entrances

The style profiles (page 5 & 6) outline the characteristics of each particular architectural style.

### *Front Entries*

Front entries are to be designed to be an integral part of the front elevation of the homes and provide an interesting and inviting focal point.

- The 'Lakestyle' is low and grounded. Generally, three or less risers at the entry step, reinforces this style.
- Front entry steps are restricted to a maximum of four risers per set. Where the grade or design call for more than four risers, the run must be split.
- Entranceways will be covered at the first level.

### *Entry Doors*

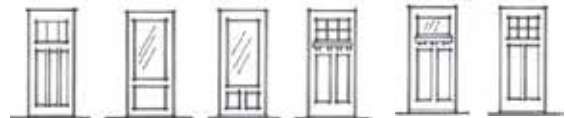
The entry door will be the final detail in creating distinction and exemplifying the style persona.

- Door styles are to suit the architecture of the home.
- The following illustrations are standard production door styles readily available from local suppliers.

Prairie



Craftsman



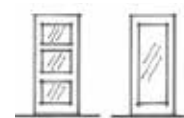
French Country/Tudor



Modern Beach



Coast Nouveau



# Materials and Colours

## Shingles

Roof shingles, in a range of earth tone colors only, that are approved for use include:

- IKO Cambridge,
- BP Mystique,
- Gaf Timberline,
- Owens Corning Duration,

Other roofing products will be considered on an individual basis.

## Exterior Cladding

Exterior materials are to be well suited to the architectural style. See style profiles on pages 5 & 6 for details.

Exterior cladding will include:

- Hardie Board siding
- Stucco in a fine Sand or Float finish
- Acrylic stucco
- Brick or stone in stacked application.

### Notes:

- Vinyl siding and shakes are not permitted in the Shoreline collection areas of Jensen Lakes.
- Masonry product is required at the front elevation of all homes and is to be designed in a manner to suit the architectural style.

## Trims

Trim details will be Smart Board or Hardie trim, in size appropriate to style.

- All masonry and trim detailing returned 24".

## Colours

Colours are an integral element of reinforcing the design style and lifestyle of Jensen Lakes. Sample color palettes have been provided and reflect the materials, finishes and colors appropriate to specific architectural style. All colour submissions will be reviewed on an individual basis and alternative colours will be recommended when necessary.

- Shades have been selected from the middle of the spectrum with trims and fascia restricted to light, soft contrasts for a fresh, new aesthetic.
- Trim and fascia must be a single colour.
- The entry door will be an accent colour that is not a tone of the primary colours. The accent colour may be bright, bold or a softer beach tone.

*\*On stucco exteriors in the 'light palette' for the French Country and Modern Beach styles, trim matching the stucco cladding will be considered on an individual basis.*

## Repetition of Color

Colors and finishes specific to style are divided into 'Light' and 'Dark' palettes. Cladding colors will not be repeated on adjacent lots. To ensure diverse but blended streetscapes, no more than two light or dark palettes will be approved in a row.



## Sample Color Schemes

See Appendix 'A' for sample color palettes.



## Additional Requirements

### Accessory Buildings

Where structures are visible from public adjacencies exterior finish, style, and color shall compliment those used on the house.

- Roof style and materials are to match the materials used on the roof of the house.
- The side wall elevations of all accessory buildings/sheds shall not extend higher than adjacent fencing.
- Accessory buildings on lots backing onto an amenity with decorative metal or chain link fencing, must be a minimum of three meters back from the rear fence line.

### Landscaping

Landscaped yards in Jensen Lakes will be filled with windswept grasses and lake inspired flora, creating a welcoming path to the front entry. The lake look is casual and tidy.

- Greenery should fringe the concrete hard surfaces to soften.
- Large rocks and dry river rock beds may incorporate wood features such as benches or stumps, with thick rope accents.
- Shaded areas will be created with billowy shrubs and trees, mixed with pine and spruce evergreens.
- Tree and shrub colors should be a mix of tones while flowering varieties should emulate sea glass, with soft pinks, purples, creams and blues.

#### *Minimum Requirements*

The minimum standard for front yard landscaping includes sod, one tree and a separate edged shrub bed(s) with 12 shrubs.

- Edging may be landscape vinyl, brick, stone, or wood landscape ties.
- Wood and rock mulch will be restricted to no more than fifty percent of the landscaped area.
- Six of the twelve required shrubs may be substituted by four perennials each.
- Minimum tree size for deciduous is 2" and for coniferous, 6'.
- Minimum shrub size is 18" in height or spread.

#### *Landscape Deposit*

All landscaping must be completed within twelve months of occupancy (subject to seasonal limitations). To ensure compliance with the landscaping requirements, a \$2,500 deposit must be paid by the Purchaser to the Builder, to be refunded by the Builder, upon satisfactory completion of the landscaping.

### Fencing

All wood screen fencing must be consistent in design and color with the fencing style established for the neighborhood. See fencing detail attached (Appendix 'C').

- The rear property line at lots backing onto the future Multi-use Trail will have a wood screen fence installed by the developer.
- All side yard fences (backing the private amenity walkway) must be stepped down to 4 feet so that the height matches the decorative amenity fencing at the back of lot.

#### *Fencing Color*

- Cloverdale Weatherone Light Brown WST 009 Semi-Transparent

### Accessories

A standard address plaque must be permanently affixed.

### Other

Vehicular access to the rear yard (drive by or drive through) on lots backing onto the lake or park will NOT be permitted.

## Process of Approval and House Construction

The following process will be followed for submissions for architectural approval in Jensen Lakes.

### Review

The Purchaser shall review all lot information, marketing material and the Guidelines prior to choosing a lot.

### Submission Process

All submissions for architectural approval will be submitted online through the StreetscapePLUS Lot Management System. Access to StreetscapePLUS is available by invitation only and every user on the system must belong to a Group. There are several types of Groups on StreetscapePLUS, each with their own special set of features and view of information. Some types of Groups include:

- Builder
- Developer
- Consultant

If your Group is already setup then you are ready to Request Access. If you don't yet have a Group – then you can contact us directly to have one setup and request the orientation package.

*Go Package: Basic Orientation*

#### **StreetscapePLUS for Builders**

Our contact information can be found online at [www.evans2design.com](http://www.evans2design.com) or at the end of this document.

### Portfolio Reviews

Builders are to ensure that they have a portfolio of models and elevations that meet the guideline requirements for Jensen Lakes. Builders are encouraged to utilize portfolio reviews prior to submitting for approvals to ensure the product they are marketing is suitable. It is recommended that builders provide 2–3 suitable elevations for each model promoted in the community with additional elevations provided as necessary for more popular floor plans. Submissions for portfolio reviews are to be made through PortfolioPLUS in the 'Approvals' module of StreetscapePLUS.

### Preliminary Approval

It is strongly recommended that preliminary approval submissions be made for each lot in order to avoid the unnecessary expense of revising drawings and/or client disappointment.

The Purchaser must submit the following to the Architectural Consultant for a preliminary review:

- floor plans – sketches or existing drawings that include all exterior dimensions
- front elevation and all exposed elevations – in the case of corner lots or lots exposed to open spaces
- materials and colours selections, if customer preference is already known

This information will be reviewed and returned along with design comments, suggested revisions, material and colour comments and siting requirements.

The purchaser is to fully review all preliminary information supplied and make all necessary changes to the drawings and final submission information prior to proceeding with final approval.

Failure to obtain preliminary approval will not mitigate the final review process and may result in delays and additional costs to achieve compliance.

### Site Check

The Purchaser is responsible for checking the site, legal plan of survey, building grade plan, marketing map and title to the Lands for locations of:

light standards

- bus zones
- fire hydrants
- utility right of ways or easements for drainage
- catch basins
- transformer boxes or utility pull boxes
- restrictive covenants



- super mail boxes

or other items which may affect the house design, impact it's siting or the size or location of the driveway and report all problems to the Architectural Consultant in writing.

## Final Approval

The Purchaser shall submit online the following to the Architectural Consultant for final approval: professionally drawn working drawings in pdf format:

- floor plans
- foundation plans
- cross sections – complete with all dimensions from subfloors to footings and subfloors to front and rear grades
- four elevations – complete with all exterior materials clearly noted
- Plot Plan complete with proposed grades
- Final Approval Form – completed with materials and colours

**NOTE:** Upon return of “the Architectural Approval” the Purchaser is responsible for checking all information including the approved plans, plot plans, grades and final approval form and contacting the consultant with any concerns or discrepancies.

## Revisions

The Purchaser shall contact the Design Consultant through StreetscapePLUS and obtain written approval for any revisions to the architectural approval before the revisions are applied. Charges for revisions after Final Approval are subject to a fee charged directly to the builder.

## Building Permit

The Purchaser shall apply for a building permit from the appropriate authority.

## Surveyor Stakeout

When the approved plans are finalized and approved by the Architectural Consultant, the Purchaser may proceed to stakeout the property.

## Final lot Inspection

Upon completion of the home, site works and landscaping, the builder will submit an approved, stamped, grading certificate from the City of St. Albert to the consultant to initiate a Final Inspection of the home.

- A site review will be carried out to confirm conformance to the Guidelines and approvals previously granted.
- Homes must be fully complete with all seasonal work done and driveway installed.
- The annual cut off for final inspection requests is September 30<sup>th</sup>.

## Security Deposit Return

Following the final approval of building and landscaping, the completion of any deficiencies, the acceptance of lot grading certificate, and confirmation that no other funds are due to the Developer, the security deposit will be refunded by the Developer.

## Discretion

These requirements may be altered, amended or varied by the Vendor, Melcor Developments Ltd., at its sole and absolute discretion and without prior notice. Melcor and their designated consultants retain the full discretion to approve or disapprove any or all elements of a proposed development or structure. The Vendor, the Architectural Consultant, their servants, agents, contractors, appointees, shall not be held responsible or liable for the accuracy, enforcement or compliance with these Landscape and Design Requirements to any Owner, Purchaser, and/or Builder within the Subdivision.



Jensen Lakes Phase 1A - Shoreline Collection  
Sample Color Schemes by Style

Craftsman	Wall cladding	Fascia	Trim	Shakes	Entry Door	Brick/Stone
Hardie (Light)	Heathered Moss	Bone	Bone	Sandstone Beige	A0257 Whole Wheat	La Plata Bluffstone
Stucco (Light)	Sierra Springs 820-3P	Grey	Grey	White	A1244 Still Waters	Sierra Mountain Ledge
Hardie (Dark)	Evening Blue	Grey	Grey	Cobblestone	A1901 Shenandoah Valley	Mineret Bluffstone
Stucco (Dark)	Velvet Crush 274-6P	White	White	Navajo Beige	A1237 Seven Lakes	Cascade Rustic Ledge

Suited Stone Profiles - Mountain Ledge, Rustic Ledge, Cliffstone, Bluffstone

French Country	Wall cladding	Fascia	Trim	Louvers/Shutters	Entry Door	Brick/Stone
Stucco (Light)	Greenwich Village 16-1P	Grey	Grey	Cobblestone	A1552 Picton	Beramo Hillstone
Stucco (Light)	Frosted Dawn 53-3P	Wicker	Wicker	Navajo Beige	A1363 Balkan Sea	Lucera Hillstone
Stucco (Dark)	Suede 830-6P	Bone	Bone	Cobblestone	A1880 Tennessee Haze	Andante Field Ledge
Stucco (Dark)	Taupe 25-6P	Wicker	Wicker	Monterey Taupe	A0767 Desert Valley	Orchard Cypress Ridge

Suited Stone Profiles - Cypress Ridge, Cobblestone, Hillstone, Limestone, Field Ledge, Cliffstone

Modern Beach	Wall cladding	Fascia	Trim	Panels	Entry Door	Brick/Stone
Stucco (Light)	Pagan Stone 820-1P	Grey	Grey	Pearl Grey	A1272 Barondale Blue	Nantucket Stacked
Stucco (Light)	Pinot Gris 136-1P	Bone	Bone	Navajo Beige	A1225 Deep Pool	Dry Creek Stacked
Stucco (Dark)	Shadow Grey 16-6P	White	White	Pearl Grey	A0461 Cheerful Coral	Nantucket Stacked
Hardie (Dark)	Monterey Taupe	Bone	Bone	Sandstone	A0991 Shy Blossom	Aldenwood Stacked

Suited Stone Profiles - Stacked, Mountain Ledge, Ledgecut

Prairie	Wall cladding	Fascia	Trim	Panels	Entry Door	Brick/Stone
Hardie (Light)	Acad Powder	Clay	Clay	Navajo Beige	A0733 Grand Canyon	Nantucket Stacked
Stucco (Light)	Dakota Bonfire 283-6P	Wicker	Wicker	Cobblestone	A0998 Marian's Meadow	Aldenwood Stacked
Hardie (Dark)	Timberbark	Grey	Grey	Monterey Taupe	A1321 Lakemont Blue	Montecito Cliffstone
Stucco (Dark)	Chocolate Cigar 295A-6A	Wicker	Wicker	Autumn Tan	A1293 Smoked Turquoise	Sierra Mountain Ledge

Suited Stone Profiles - Stacked, Mountain Ledge, Cliffstone, Brick

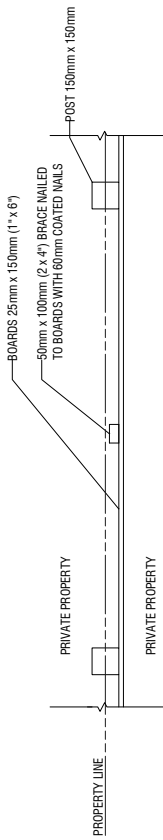
Coast Nouveau	Wall cladding	Fascia	Trim	Shakes	Entry Door	Brick/Stone
Hardie (Light)	Pearl Grey	Grey	Grey	Cobblestone	A0445 Sun Kiss	Profit Ledgestone, Southwest Blend*
Hardie (Light)	Sandstone Beige	Bone	Bone	Navajo Beige	A1356 Blue Jay	Dryback Ledgestone, Caramel*
Hardie (Dark)	Autumn Tan	Bone	Bone	Sandstone Beige	A1250 Rialto	Profit Ledgestone, Platinum*
Hardie (Dark)	Monterey Taupe	Bone	Bone	Cobblestone	A1336 Prince Edward Isle	Country Ledge, White Oak*

Suited Stone Profiles - Rustic Ledge, Stacked

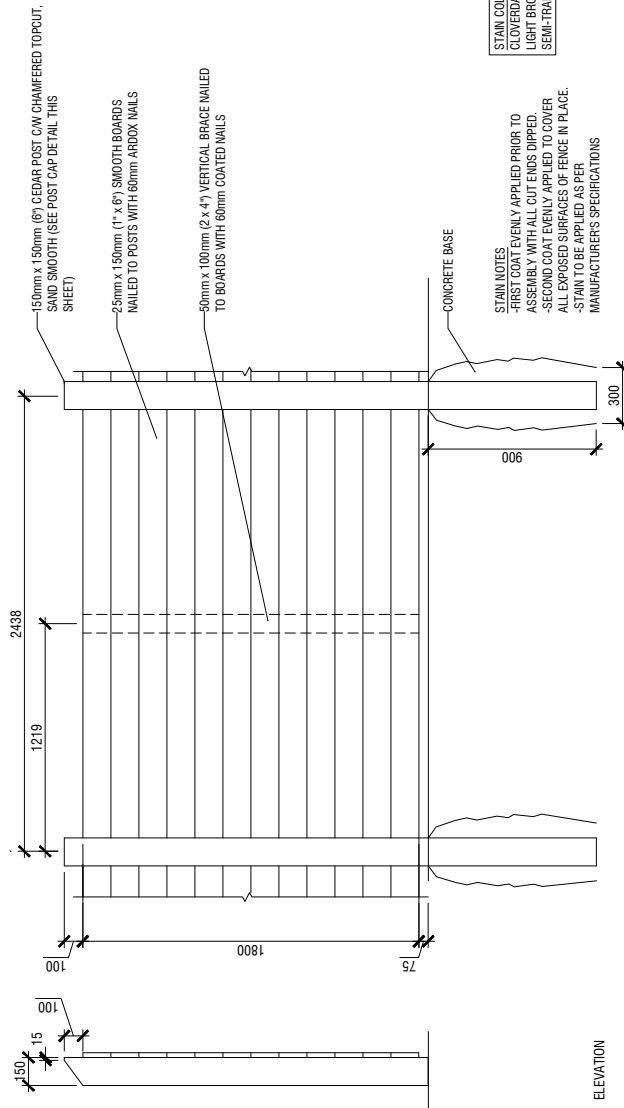
Trim Selections - by Style

	Bone	Wicker	Ivory	Grey	White	Clay
Prairie		✓				✓
Coast Nouveau	✓	✓	✓	✓		
Craftsman		✓	✓		✓	
French Country	✓	✓	✓	✓		✓
Modern Beach	✓	✓		✓	✓	

Stucco colours referenced are Inesco  
Stone referenced is manufactured by Eldorado, unless noted \*Boral  
Longboard colours referenced are manufactured by Mayne  
Entry door paint colours referenced are ICI  
Shake and Panel colours referenced are manufactured by James Hardie  
Fascia and trim selections are limited to the following: Bone, Wicker, Ivory, Grey, White and Clay



PLAN



ELEVATION

1.8m HEIGHT HORIZONTAL SLAT WOOD SCREEN FENCE  
SCALE 1:25

STAIN COLOUR:  
 CLOVERDALE WEATHERONE  
 LIGHT BROWN WST 009  
 SEMI-TRANSPARENT

STAIN NOTES  
 -FIRST COAT EVENLY APPLIED PRIOR TO ASSEMBLY WITH ALL CUT ENDS DIPPED.  
 -SECOND COAT EVENLY APPLIED TO COVER ALL EXPOSED SURFACES OF FENCE IN PLACE.  
 -STAIN TO BE APPLIED AS PER MANUFACTURER'S SPECIFICATIONS



MELCOR JENSEN LAKE

FENCE DETAIL

December 21, 2015  
 EO: 35976 600

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## Appendix 'C' – Directory

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